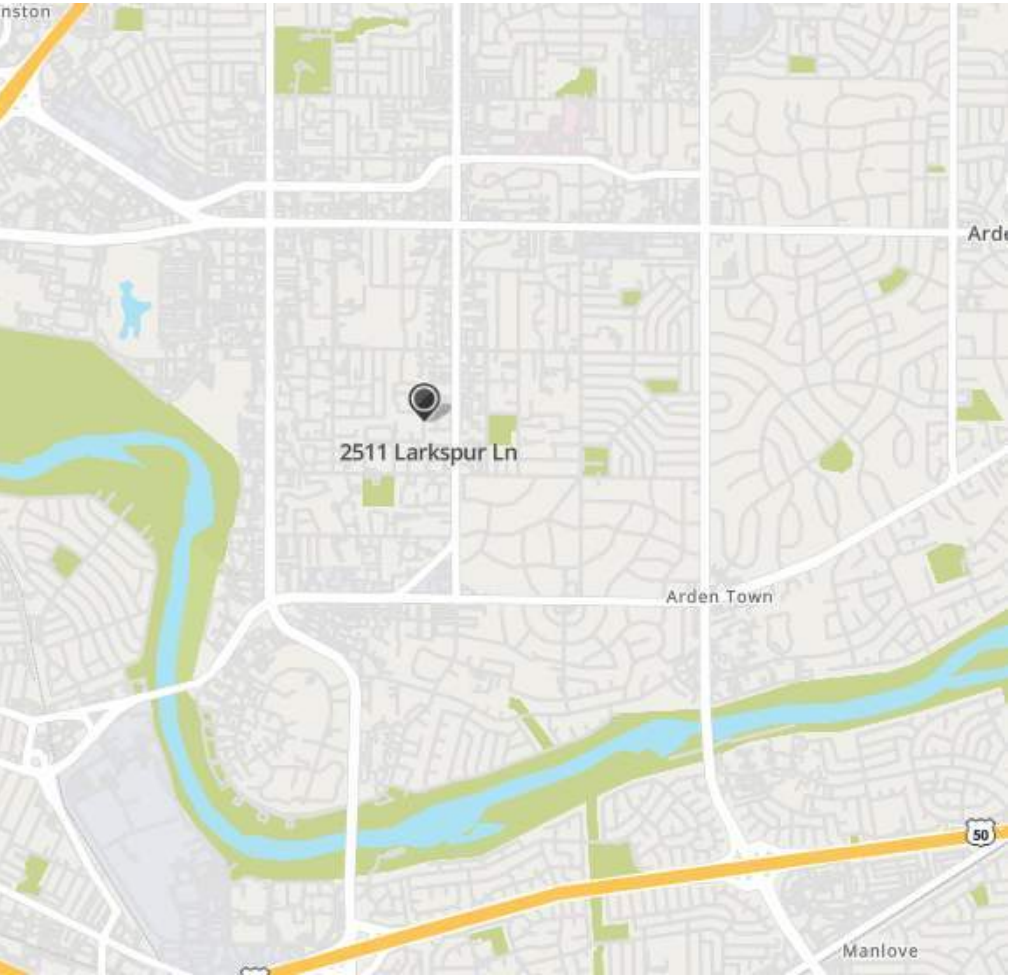
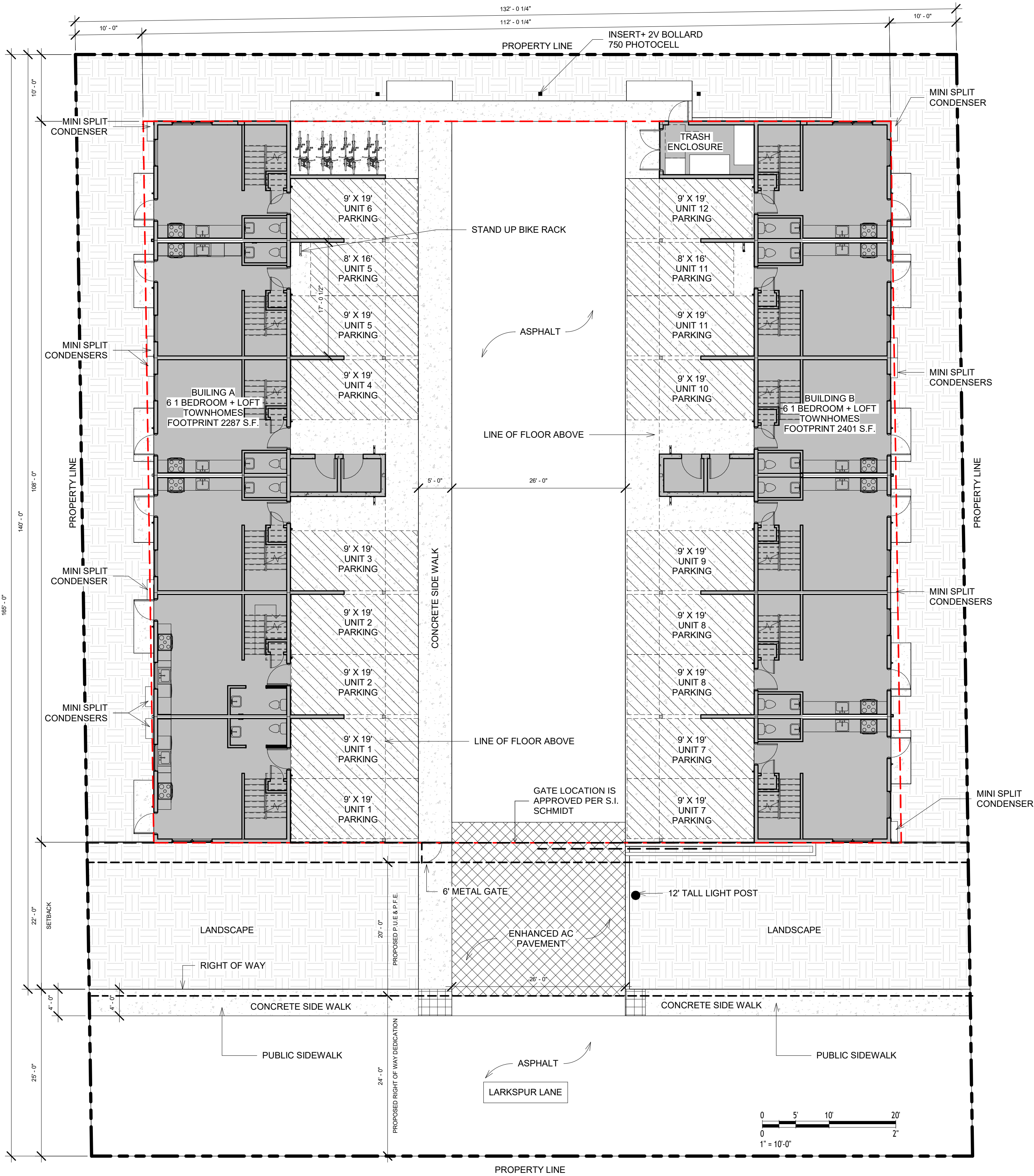
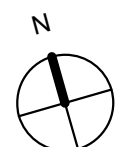


A NEW MULTI FAMILY DEVELOPMENT PROJECT FOR:		SERVICES:	LOT COVERAGE:	SHEET INDEX:	
2511 LARKSPUR LANE SACRAMENTO, CA 95825		ELECTRICITY: SMUD WATER: SACRAMENTO SUBURBAN WATER SEWER: SACRAMENTO AREA SEWER DISTRICT SOLID WASTE: SACRAMENTO COUNTY DEPARTMENT OF WASTE MANAGEMENT AND RECYCLING FIRE: SACRAMENTO METROPOLITAN FIRE SCHOOL DISTRICT: SAN JUAN UNIFIED	- 0.43 ACRES = 18,730.8 S.F. <u>LOT COVERAGE CALCULATIONS:</u> - BUILDING A FOOTPRINT: 2,328 S.F. - BUILDING B FOOTPRINT: 2,442 S.F. - PROPOSED PARKING: 3,647 S.F. - SIDEWALK: 1,472 S.F. - DRIVE AISLE: 3,484 S.F. - LANDSCAPE: 5,303 S.F. TOTAL: 18,676 S.F.	Sheet Number	Sheet Name
SCOPE OF WORK:		ZONING:	PARKING CALCULATIONS:	A-0.0	TITLE SHEET
- CONSTRUCT 12 NEW 1 BED + LOFT TOWNHOMES WITH TUCK UNDER PARKING		- ZONING: - RD-30: MULTIPLE FAMILY RESIDENTIAL	TABLE 5.18: PARKING CALCULATIONS	A-0.1	SITE PLAN
- 18 PARKING SPACES		- MAXIMUM DENSITY (DWELLING UNITS/ NET ACRE): 30 - 30 X 0.43 = 13 UNITS	- (12) 1-BEDROOM UNITS X 1 = 12 ASSIGNED PARKING STALLS REQ'D	A-0.2	PHOTOMETRIC ANALYSIS
- NEW UTILITES TO BE ROUTED		- SETBACKS: - FRONT YARD: 26' WITH PUFF	- 12 UNITS X 5 = 6 VISITOR STALLS REQ'D	A-0.3	PHOTOMETRIC ANALYSIS
- NEW ROOF MOUNTED PHOTOVOLTAIC PANELS		- SIDE AND REAR YARD: 10' FOR 1 TO 2 STORY	- 12 + 6 = 18 STALLS REQ'D	A-0.4	CAL GREEN CHECKLIST
PROJECT DATA:		- MAXIMUM HEIGHT: - 150 FEET AND NO STORY LIMIT	- 18 PARKING STALLS PROVIDED	A-0.5	CAL GREEN CHECKLIST
APN:	28501900400000	BUILDING AREAS:	BICYCLE PARKING	A-1.0	BUILDING A LEVEL 1 FLOOR PLAN
STREET ADDRESS:	2511 LARKSPUR LANE	PROPOSED GROSS FLOOR AREA:	- 1 RESIDENT BICYCLE PARKING PER UNIT	A-1.1	BUILDING A LEVEL 2 FLOOR PLAN
CITY:	SACRAMENTO, CA	BUILDING A LEVEL 1: 2,195 S.F. BUILDING A LEVEL 2: 3,430 S.F.	- 12 X 1 = 12 BICYCLE PARKING SPOTS FOR RESIDENCE	A-1.2	BUILDING B LEVEL 1 FLOOR PLAN
JURISDICTION:	SACRAMENTO COUNTY	BUILDING B LEVEL 1: 2,315 S.F. BUILDING B LEVEL 2: 3,430 S.F.	- 1 GUEST BICYCLE PARKING SPOT FOR EVERY 10 UNITS ON SITE	A-1.3	BUILDING B LEVEL 2 FLOOR PLAN
OCCUPANCY:	R-2	TOTAL GROSS FLOOR AREA: 11,370 S.F.	- 12 UNITS / 10 = 1.2 GUEST BICYCLE PARKING SPOTS	A-1.4	ENLARGED BUILDING A ACCESSIBLE UNIT 1 & 2 LEVEL 1 FLOOR PLAN
CONSTRUCTION TYPE:	V-B	NOTES:	- 13 BICYCLE PARKINGS SPOTS NEEDED	A-1.5	ENLARGED BUILDING A ACCESSIBLE UNIT 1 LEVEL 2 FLOOR PLAN
# OF STORIES:	TWO STORY (2)	- THE INFORMATION ON THIS SET OF CONSTRUCTION DOCUMENTS IS RELATED TO THE BASIC DESIGN INTENT OF THE PROJECT. THEY ARE INTENDED AS A CONSTRUCTION AID, NOT A SUBSTITUTE FOR GENERALLY ACCEPTED GOOD BUILDING PRACTICES AND COMPLIANCE WITH CURRENT CALIFORNIA STATE BUILDING CODES. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING STANDARD CONSTRUCTION DETAILS AND PROCEDURES TO ENSURE A PROFESSIONALLY FINISHED, STRUCTURALLY SOUND, AND WEATHERPROOF COMPLETED PROJECT.	- 14 BICYCLE PARKING SPOTS PROVIDED	A-1.6	ENLARGED BUILDING A ACCESSIBLE UNIT 2 LEVEL 2 FLOOR PLAN
LOT AREA:	0.43 ACRES	TRASH ENCLOSURE NOTES:	OPEN SPACE REQUIREMENTS:	A-1.7	ENLARGED BUILDING A STANDARD UNITS 3, 4, 5 & 6 LEVEL 1 FLOOR PLANS
FIRE SPRINKLERS:	YES	- 25 FT. FROM ANY PUBLIC RIGHT-OF-WAY	PUBLIC OPEN SPACE REQUIREMENTS:	A-1.8	ENLARGED BUILDING A STANDARD UNITS LEVEL 2 FLOOR PLANS
CODES:	2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA FIRE CODE 2022 CALIFORNIA GREEN BUILDING CODE	- 15 FT. FROM RESIDENTIALLY-ZONED PROPERTY	PRIVATE OPEN SPACE REQUIREMENTS:	A-2.0	INTERIOR ELEVATIONS
PROJECT CONTACTS:	OWNER: SONGYE QIN & STEVE PRESSON 264 BARNHILL DRIVE FOLSOM, CA 95630	- 15 FT. FROM THE EDGE OF A PRIVATE ROAD EASEMENT	PERSONAL STORAGE CALCS:	A-3.0	ROOF PLAN
ARCHITECT:	LAURA MILLER DESIGN 889 EMBARCADERO DR, SUITE 104 EL DORADO HILLS, CA 95762 916.607.3321	- ALL WASTE CONTAINERS SHALL BE LOCATED WITHIN AN ENCLOSED MASONRY AREA WITH A SURROUNDING WALL AT LEAST SIX FEET HIGH AND NO TALLER THAN EIGHT FEET IN HEIGHT, WITH AN APPROPRIATE SOLID GATE.	UNITS 1, 3, 5, 7, 9, & 11	A-4.0	BUILDING A ELEVATIONS
LANDSCAPE:	MIQBEL DESIGNS SACRAMENTO, CA 614.598.8234	- ENCLOSURE AREAS SHALL BE DESIGNED TO THE COUNTY'S LATEST STORMWATER QUALITY SOURCE CONTROL DESIGN STANDARDS, INCLUDING DRAINS AND COVERS, IF REQUIRED.	LOFT CLOSET: 72 C.F. DOWNSTAIRS CLOSET: 48 C.F.	A-4.1	BUILDING A ELEVATIONS
CIVIL ENGINEER:	OUSDALE CIVIL ENGINEERING 1212 SUNCAST LANE SUITE 1 EL DORADO HILLS, CA 95762 916.370.7647	- CONTAINER SIZES FOR WASTE, RECYCLING AND/OR ORGANICS SHALL MEET THE REQUIREMENTS OF WASTE MANAGEMENT AND RECYCLING DEPARTMENT.	TOTAL: 120 C.F.	A-4.2	BUILDING B ELEVATIONS
STRUCTURAL ENGINEER:	RESPONSE STRUCTURAL ENGINEERS 5441 FAIR OAKS BLVD, SUITE G2 CARMICHAEL, CA 95608 916.680.9922	- THERE SHALL BE ADEQUATE AREA PROVIDED FOR REQUIRED WASTE CONTAINERS WITHIN ENCLOSURES. ENCLOSURES SHALL BE LOCATED FOR FUNCTIONAL USE BY OCCUPANTS AND BY THE DISPOSAL AND HAULING COMPANIES, PROVIDING COLLECTION SERVICES.	UNITS 2, 4, 6, 8, 10, & 12	A-4.3	BUILDING B ELEVATIONS
MEP:	OPTIMIZED ENERGY 5734 LONETREE BLVD ROCKLIN, CA 95765 916.626.5518	LANDSCAPE REQUIREMENTS:	- LOFT CLOSET: 117 C.F. - LINEN: 36 C.F. - DOWNSTAIRS CLOSET: 48 C.F.	A-4.4	BUILDING A COLORED ELEVATIONS
FIRE SPRINKLERS:	HOLLAND FIRE & PLUMBING 1600 MEADOWLARK WAY, ROSEVILLE, CA 95661 916.214.7051	- A MINIMUM SEVEN (7) FOOT WIDE CONTINUOUS LANDSCAPED PLANTER SHALL BE REQUIRED FOR MULTIFAMILY RESIDENTIAL USES IN ALL CASES.	- TOTAL: 201 C.F.	A-4.5	BUILDING A COLORED ELEVATIONS
VICINITY MAP:		- LANDSCAPING SHALL BE UTILIZED TO SOFTEN PROJECTS AND CONNECT RESIDENTS WITH THE NATURAL ENVIRONMENT.	BEDROOM STORAGE:	A-5.0	3D VIEWS
		- STREET-FACING ELEVATIONS SHALL BE DESIGNED WITH PLANTERS OR POTTED PLANTS ADJACENT TO THERE FOUNDATION OR PORCH FACE.	UNIT 1 & 2 BEDROOM CLOSET: 108 C.F.	A-6.0	WINDOW DETAILS
		- ALL UNPAVED AREAS SHALL BE LANDSCAPED.	UNITS 3 -12 BEDROOM CLOSET: 122.4 C.F.	A-6.1	WINDOW DETAILS
		- ALL LANDSCAPE AND STREETSCAPE IMPROVEMENTS MUST MEET THE COUNTY'S IMPROVEMENT STANDARDS, UNLESS OTHERWISE APPROVED BY AN ADOPTED STREETSCAPE PLAN, CORRIDOR PLAN, OR OTHER SPECIAL AREA ZONING CODE; AND SHALL BE CONSISTENT WITH THE CURRENT EDITION OF THE COUNTY'S DESIGN GUIDELINES AND THE FOLLOWING STANDARDS.	ABBREVIATIONS:	A-6.2	DETAILS
		- ALL AREAS BETWEEN THE EDGE OF THE STREET RIGHT-OF-WAY AND THE BUILDING OR PARKING LOT, AND VISIBLE FROM THE PUBLIC STREET, EXCEPT FOR DRIVEWAYS AND SCREEN AREAS, SHALL BE LANDSCAPED.	A.F.F ABOVE FINISHED FLOOR ABV. ABOVE AHU AIR HANDLING UNIT BLDG BUILDING BLW. BELOW B.O. BOTTOM OF C.H. CEILING HEIGHT CL CENTERLINE CLG CEILING CLR. CLEAR CMU CONCRETE MASONRY UNIT D DRYER DIA. DIAMETER DW DISHWASHER (E) EXISTING ELEC. ELECTRICAL ELEV. ELEVATION EQ. EQUAL EXT. EXTERIOR F.C. FINISHED CEILING F.F. FINISHED FLOOR GWB GYPSUM WALL BOARD HVAC HEATING/VENTILATING/AIR CONDITIONING INT. INTERIOR MANUF. MANUFACTURER MAX. MAXIMUM MECH. MECHANICAL MIN. MINIMUM MISC. MISCELLANEOUS MWAVE MICROWAVE (N) NEW NTS NOT TO SCALE O.H. OVERHANG P.U.E. PUBLIC UTILITY EASEMENT PL. PROPERTY LINE REF. REFRIGERATOR SIM. SIMILAR SPECS. SPECIFICATIONS S.F. SQUARE FEET T.O. TOP OF T.P. TOP PLATE TYP. TYPICAL U.O.N. UNLESS OTHERWISE NOTED W WASHER W.H. WATER HEATER W/O WITH W/O WITHOUT WRB WEATHER RESISTANT BARRIER	A-6.3	DETAILS
		- PEDESTRIAN WALKS AND CONNECTIONS. REQUIRED LANDSCAPE AREAS SHOULD INCLUDE PEDESTRIAN WALKS AND WELL-MARKED PATHS OF TRAVEL AND CONNECTIONS. STEPS, AND SIMILAR HARD SURFACE AREAS, PROVIDED THAT SUCH HARD SURFACE AREAS DO NOT COVER MORE THAN 25 PERCENT OF THE REQUIRED LANDSCAPE AREAS. A BARRIER FREE, FOUR (4) FOOT WIDE PAVED WALK MAY BE PROVIDED THROUGH THE REQUIRED PLANTER AT STREET AND DRIVEWAY INTERSECTIONS TO PROVIDE UNENCUMBERED ACCESS FOR PEOPLE WITH DISABILITIES FROM THE SIDEWALK TO THE PARKING LOT. SUCH WALK SHALL BE LOCATED SO AS TO FACILITATE THE MOST DIRECT MOVEMENT OF PERSONS USING SIDEWALK CURB RAMPS, IF SUCH ARE PROVIDED.		A-6.4	DETAILS
				AS1.00	SITE SCHEDULE & NOTES
				AS1.01	OVERALL SITE PLAN
				AS1.11	SITE DETAILS
				L1.00	LANDSCAPE SCHEDULE & NOTES
				L1.01	LANDSCAPE PLAN
				L1.11	LANDSCAPE DETAILS
				L1.20	LANDSCAPE SPECIFICATIONS
				L2.00	IRRIGATION SCHEDULE & NOTES
				L2.01	IRRIGATION PLAN
				L2.11	IRRIGATION DETAILS
				L2.20	IRRIGATION SPECIFICATIONS
				L3.00	HYDROZONE PLAN
				C0.0	CIVIL COVER SHEET
				C0.1	CIVIL GENERAL NOTES SHEET
				C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
				C2.0	CITE IMPROVEMENT PLAN
				C2.1	LARKSPUR LANE PLAN AND PROFILE
				C2.2	FIRE ACCESS AND WATER SUPPLY PLAN
				C3.0	UTILITY PLAN
				C4.0	GRADING AND DRAINAGE PLAN
				C5.0	STORM WATER QUALITY CONTROL PLAN
				C6.0	EROSION AND SEDIMENT CONTROL PLAN
				C7.0	CIVIL CONSTRUCTION DETAILS
				C7.1	CIVIL CONSTRUCTION DETAILS
				C7.2	CIVIL CONSTRUCTION DETAILS
				C7.3	CIVIL CONSTRUCTION DETAILS
				C7.4	CIVIL CONSTRUCTION DETAILS
				FP-1	FIRE SPRINKLER PLAN
				E0.0	ELECTRICAL SCHEDULES, ONE-LINE, DETAILS, & GENERAL NOTES
				E0.1	ELECTRICAL PANEL SCHEDULES & CALCULATIONS
				E1	ELECTRICAL PLAN - SITE
				E2.0	ELECTRICAL PLAN - BLDG A - 1ST FLOOR
				E2.1	ELECTRICAL PLAN - BLDG A - 2ND FLOOR
				E2.2	ELECTRICAL PLAN - BLDG B - 1ST FLOOR
				E2.3	ELECTRICAL PALN - BLDG B - 2ND FLOOR
				EN0	BUILDING A - TITLE 24 ENERGY
				EN1	BUILDING A - TITLE 24 ENERGY
				EN2	BUILDING B - TITLE 24 ENERGY
				EN3	BUILDING B - TITLE 24 ENERGY
				EN4	ELECTRICAL POWER DISTRIBUTION
				M0.0	MECHANICAL SCHEDULES & GENERAL NOTES
				M1.0	MECHANICAL PLAN - BLDG A - 1ST FLOOR
				M1.1	MECHANICAL PLAN - BLDG A - 2ND FLOOR
				M1.2	MECHANICAL PLAN - BLDG B - 1ST FLOOR
				M1.3	MECHANICAL PLAN - BLDG B - 2ND FLOOR
				P0.0	PLUMBING SCHEDULES, CALCULATIONS, & GEN. NOTES
				P0.1	PLUMBING DETAILS
				P1.0	PLUMBING PLAN - WATER - BLDG A - 1ST FLOOR
				P1.1	PLUMBING PLAN - WATER - BLDG A - 2ND FLOOR
				P1.2	PLUMBING PLAN - WATER - BLDG B - 1ST FLOOR
				P1.3	PLUMBING PLAN - WATER - BLDG B - 2ND FLOOR
				P2.0	PLUMBING PLAN - SEWER & VENT - BLDG A - 1ST FLOOR
				P2.1	PLUMBING PLAN - SEWER & VENT - BLDG A - 2ND FLOOR
				P2.2	PLUMBING PLAN - SEWER & VENT - BLDG B - 1ST FLOOR
				P2.3	PLUMBING PLAN - SEWER & VENT - BLDG B - 2ND FLOOR
				P3.0	PLUMBING PLAN - TYPICAL BLDG - ROOF DRAINAGE CALCULATIONS
				PV0	SOLAR PHOTOVOLTAIC GENERAL NOTES, CALCS & SCHEDULES
				PV1	SOLAR PHOTOVOLTAIC PLAN - TYPICAL BUILDING - ROOF
				PV2	SOLAR PHOTOVOLTAIC EQUIPMENT SUBMITTALS



1 SITE PLAN
1" = 10'-0"



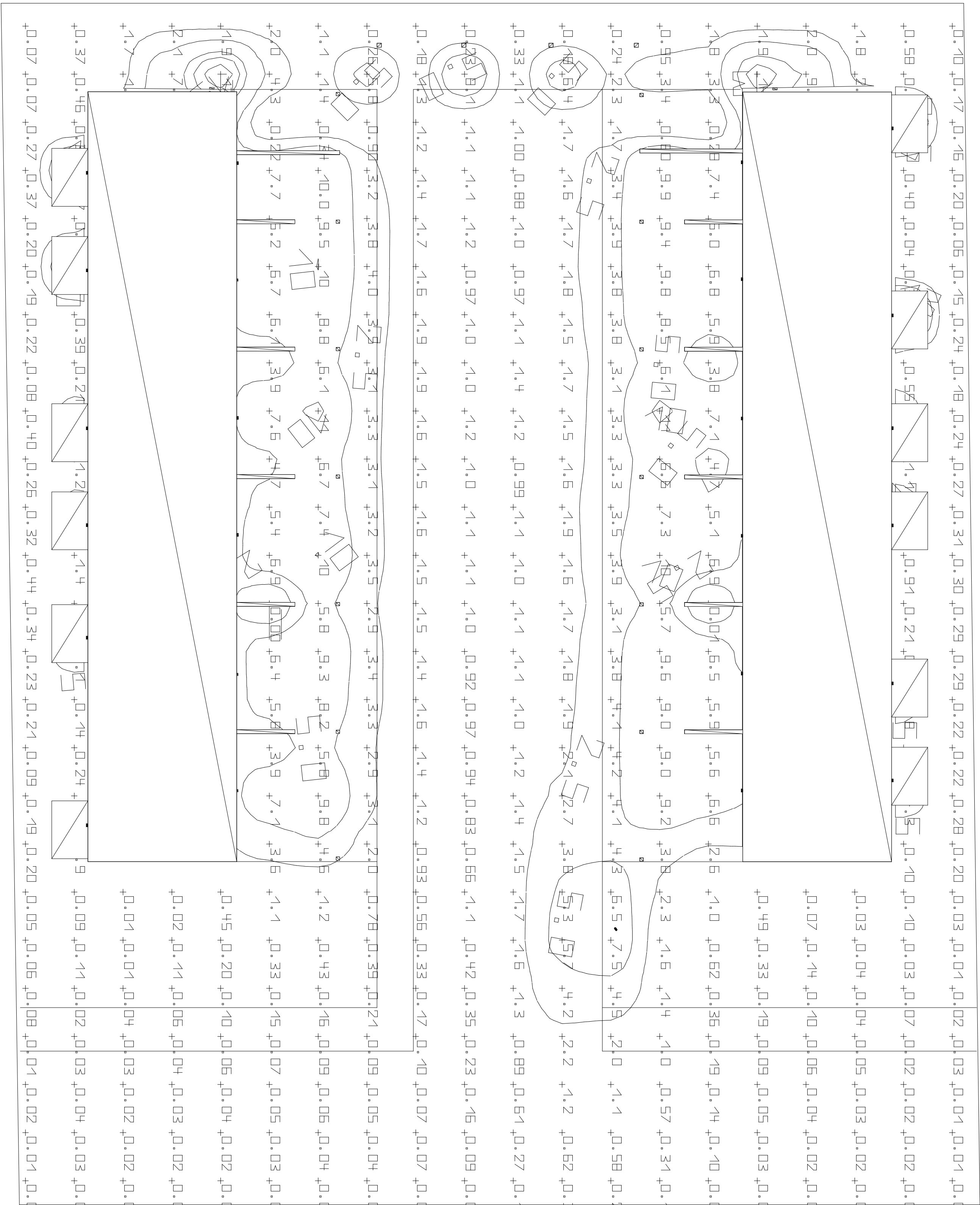
- PROPERTY LINE
- SETBACK
- METAL FENCE & GATE
- P.U.E.
- CONCRETE
- ASPHALT
- ENHANCED AC PAVEMENT
- COLORED CONCRETE
- LANDSCAPE
- PROPOSED BUILDING FOOTPRINTS
- TRUNCATED DOME

1 SITE PLAN LEGEND
1/4" = 1'-0"

No.	Date	Description

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SITE PLAN

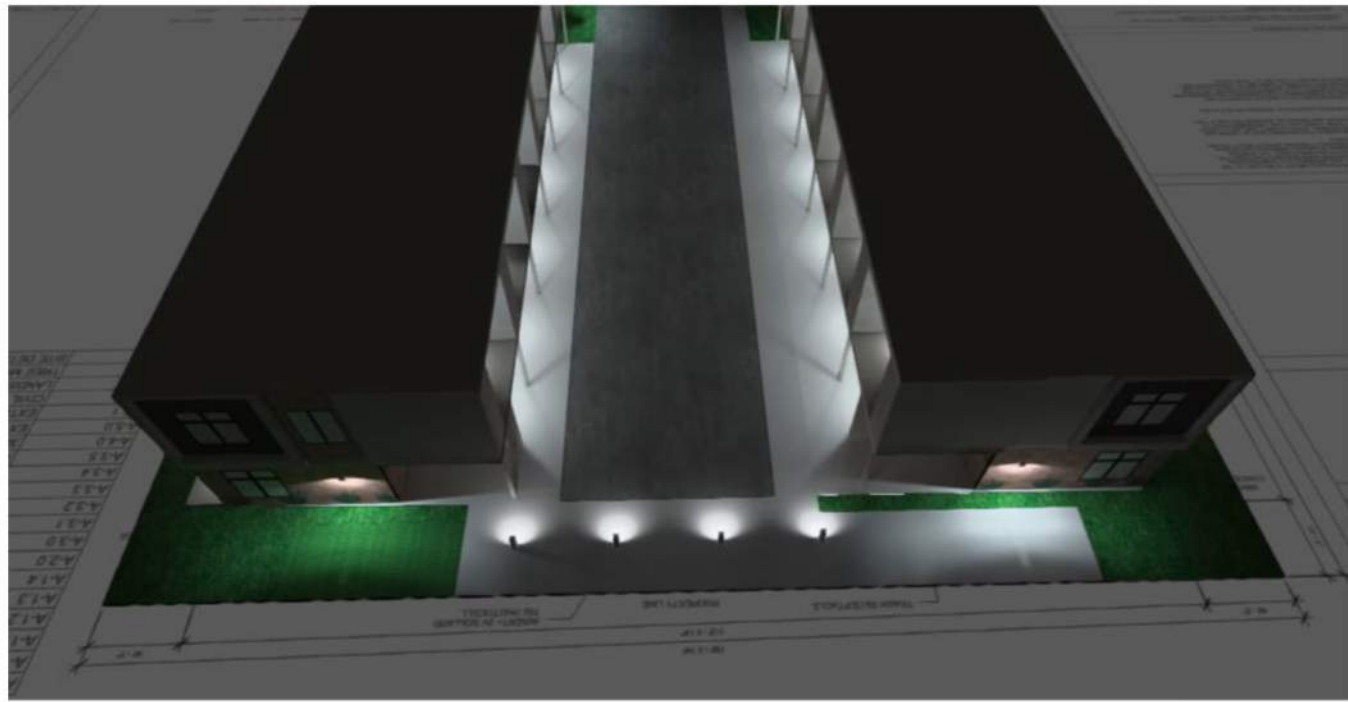
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Approved By:
LM
Sheet Number:



Photometric Analysis



Images



1

Photometric Analysis



Images



3

Photometric Analysis



Images

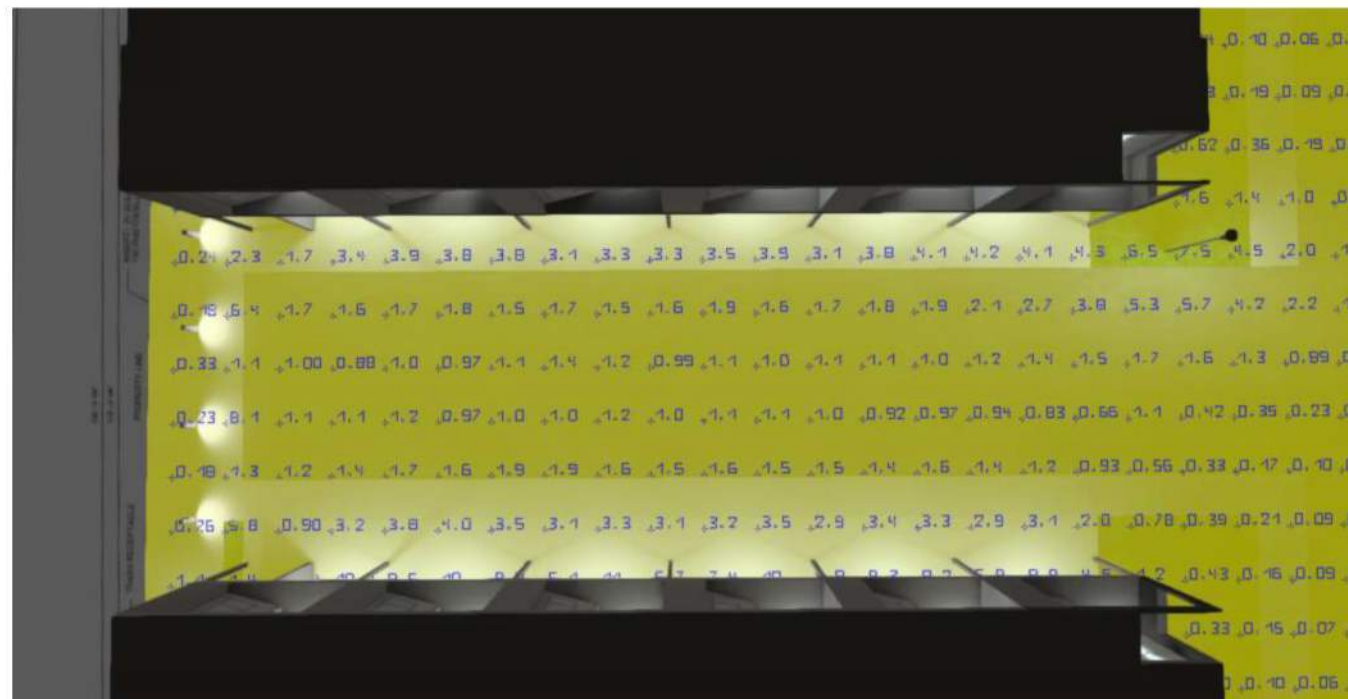


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Photometric Analysis



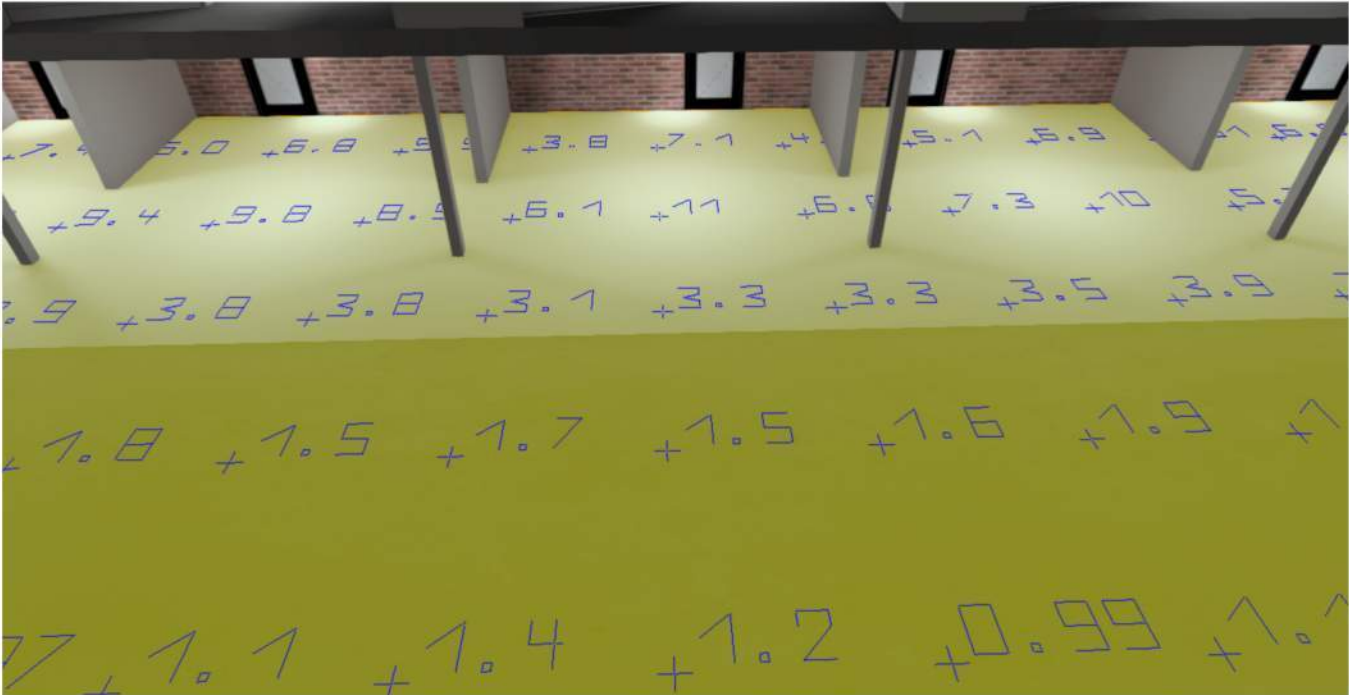
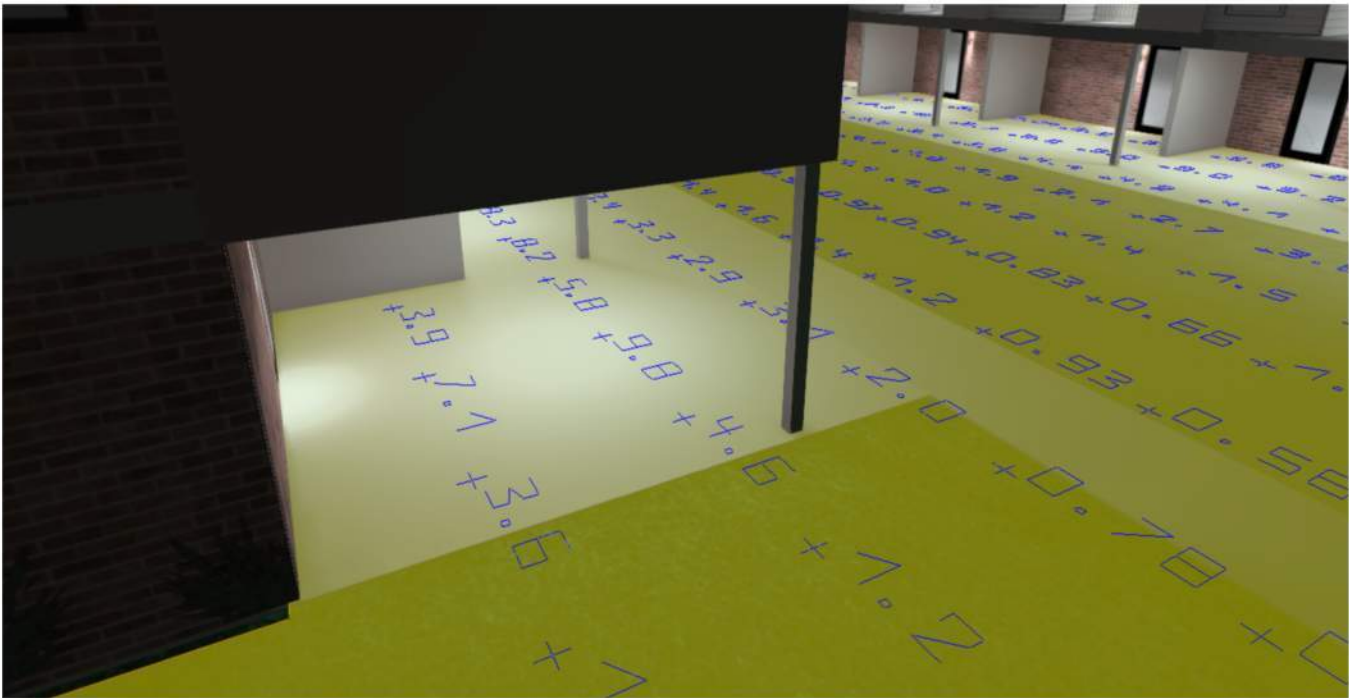
Images



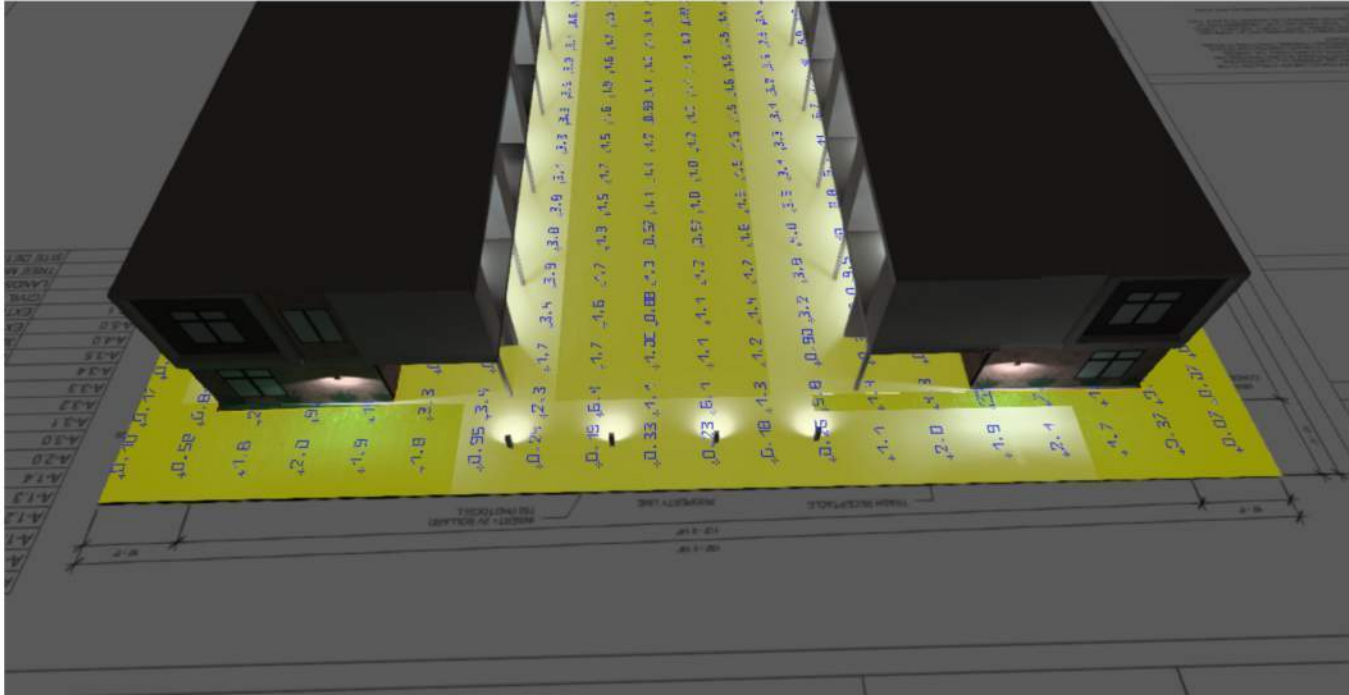
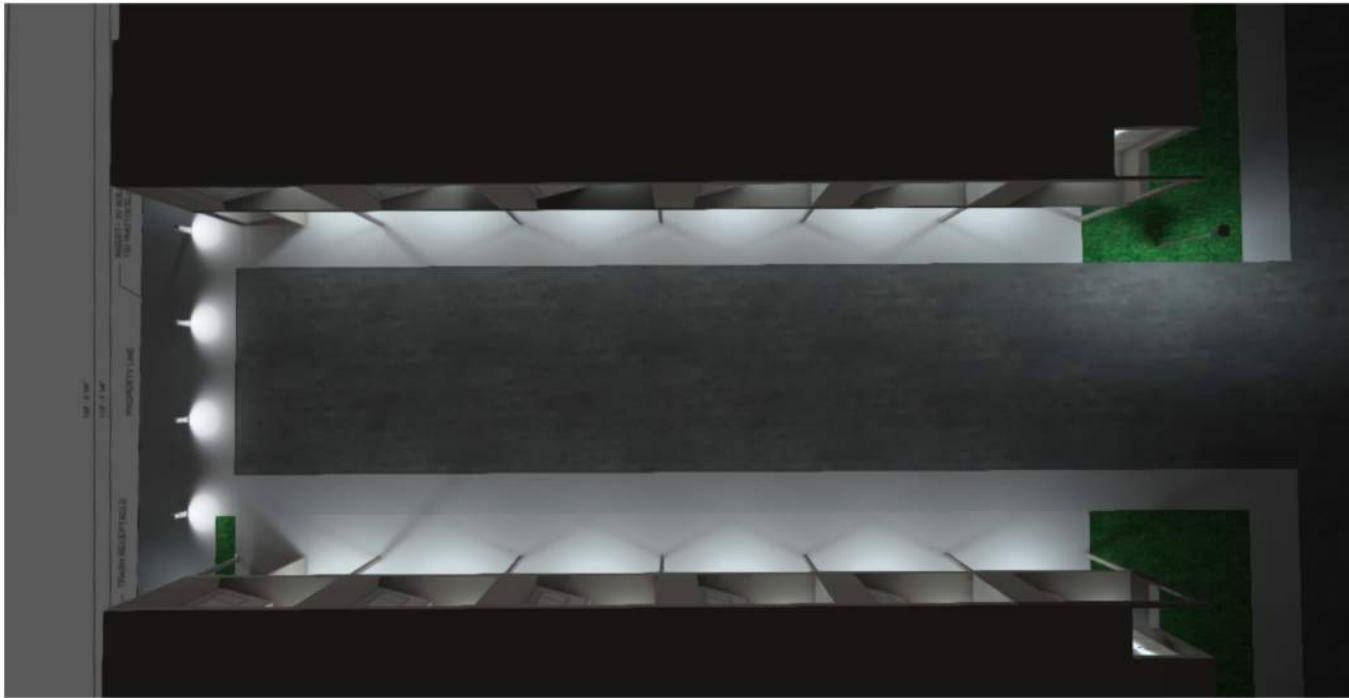
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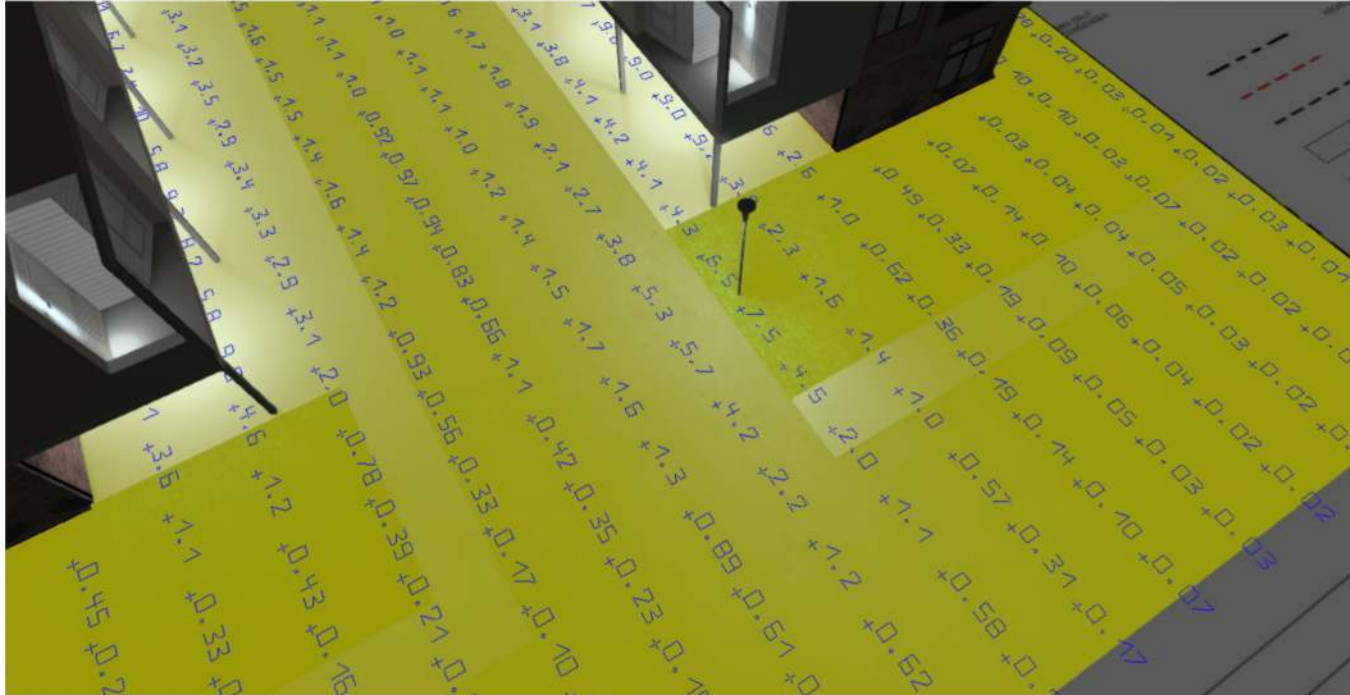
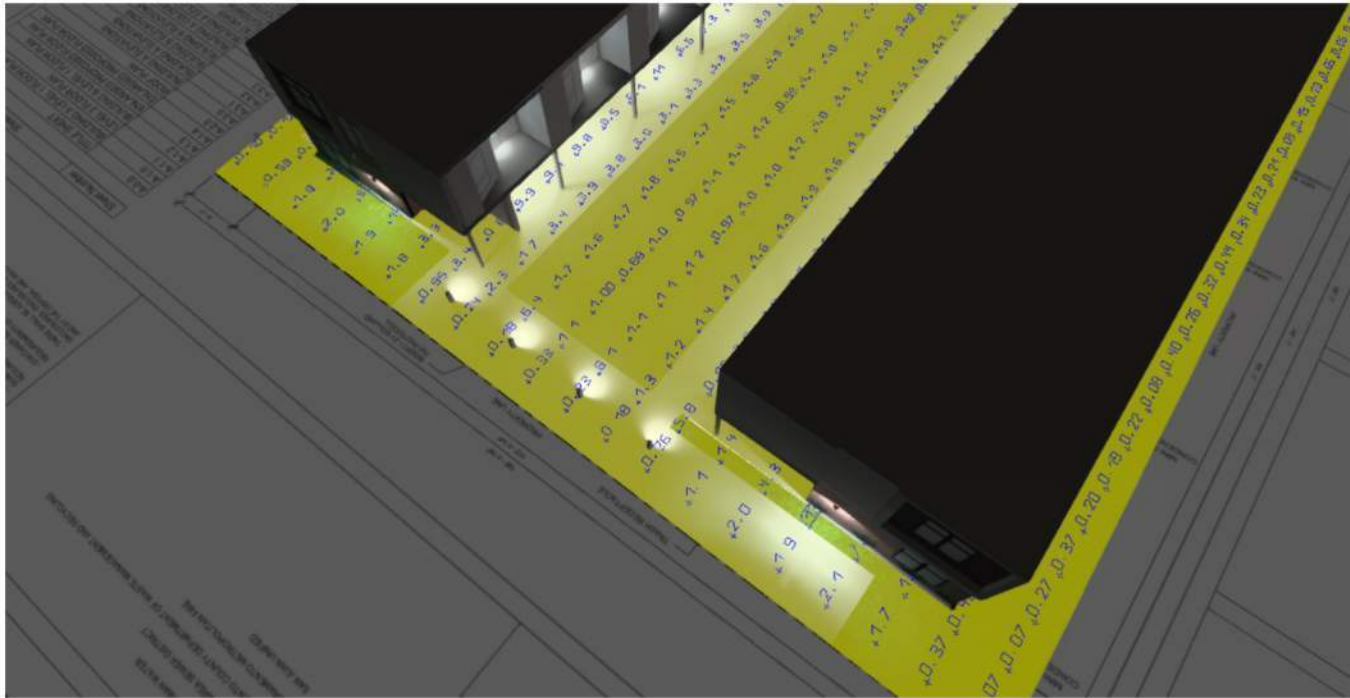
Images



Images

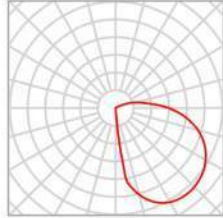


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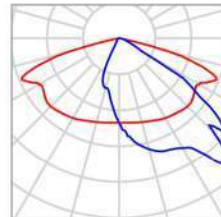
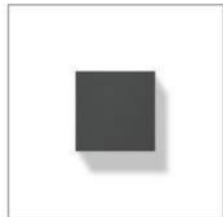


Luminaire list

Φ_{total}	P_{total}	Luminous efficacy
70196 lm	962.0 W	73.0 lm/W



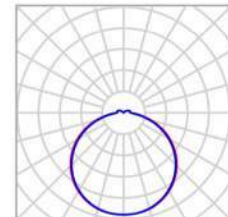
pcs.	4	P	9.0 W
Manufacturer	Performance in Lighting	Φ_{Lamp}	592 lm
Article No.	072146	$\Phi_{Luminaire}$	592 lm
Article name	INSERT+ 2 V BOLLARD 750 9W/ 830 A-EW 0-10V PHOTOCELL - Iron gray	η	100.00 %
		Luminous efficacy	65.8 lm/W
		CCT	3000 K
Fitting	1x LED	CRI	80



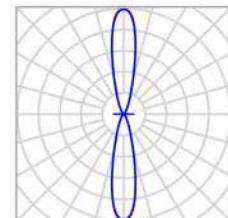
pcs.	2	P	26.0 W
Manufacturer	Performance in Lighting	$\Phi_{Luminaire}$	2273 lm
Article No.	303759	η	-
Article name	MIMIK 20 CP/T3 26W 730 AN-96	Luminous efficacy	87.4 lm/W
		CCT	3000 K
Fitting	1x 071162	CRI	70



Luminaire list



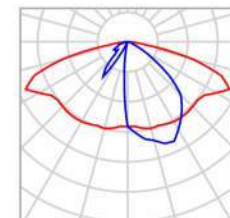
pcs.	12	P	40.0 W
Manufacturer	Performance in Lighting	$\Phi_{Luminaire}$	2515 lm
Article No.	304648	η	-
Article name	BLIZ SQUARE 40 S/EW 39W 830 AN-96	Luminous efficacy	62.9 lm/W
		CCT	3000 K
Fitting	1x 071647 830	CRI	80



pcs.	36	P	10.0 W
Manufacturer	Performance in Lighting	$\Phi_{Luminaire}$	817 lm
Article No.	304859	η	-
Article name	MIMIK 10 B C/I 20° 10W 730 AN-96	Luminous efficacy	81.7 lm/W
		CCT	3000 K
Fitting	1x 071753 730	CRI	70



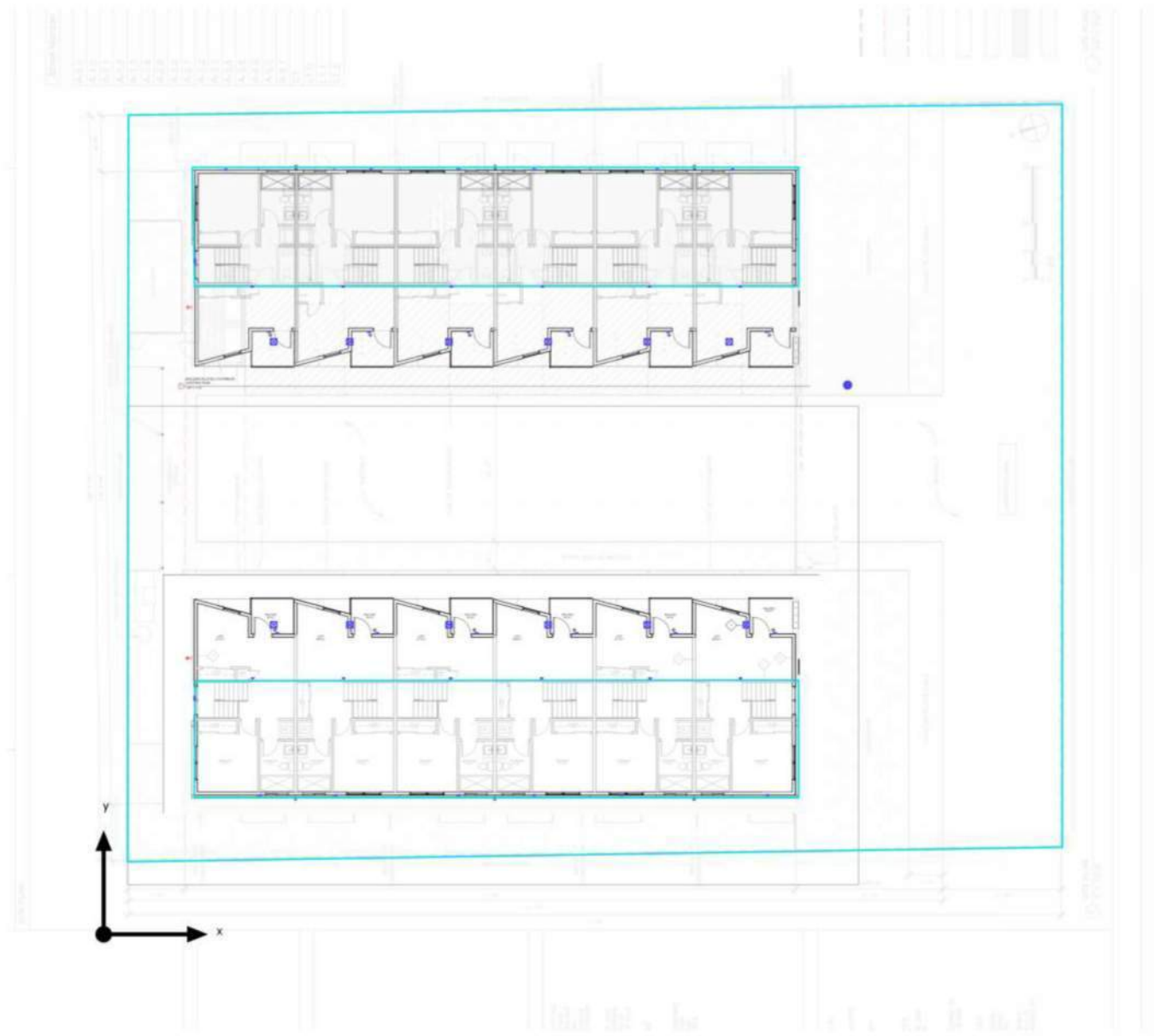
Luminaire list



pcs.	1	P	34.0 W
Manufacturer	Performance in Lighting	$\Phi_{Luminaire}$	3690 lm
Article No.	3104759	η	-
Article name	HEDO+ FT SR/075 34W 730 AN-96	Luminous efficacy	108.5 lm/W
		CCT	3000 K
Fitting	1x 072082 730	CRI	70



Site 1 (Light scene 1)
Calculation objects



Site 1 (Light scene 1)
Calculation objects

Calculation surfaces					
Properties	E	E_{min}	E_{max}	E/E_{max}	E_{max}/E_{min}
Calculation surface 2 Perpendicular illuminance Height: 0.250 ft	2.18 fc	0.002 fc	16.9 fc	1381	10729



BUILDING A EAST ELEVATION



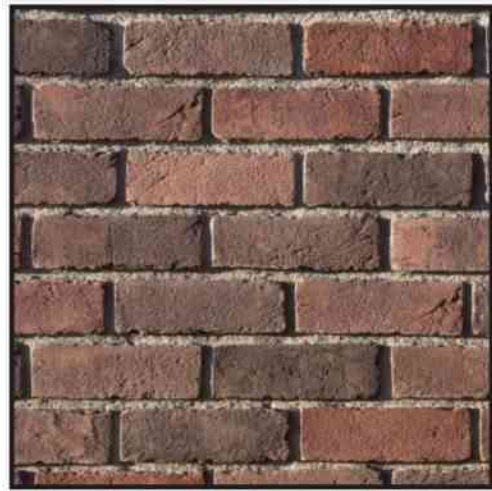
BUILDING A WEST ELEVATION



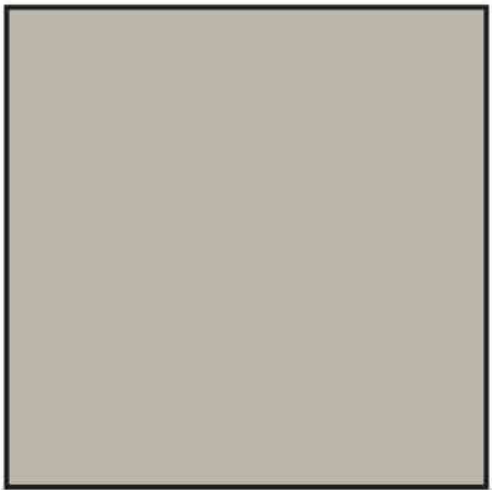
BUILDING A SOUTH ELEVATION



BUILDING A NORTH ELEVATION



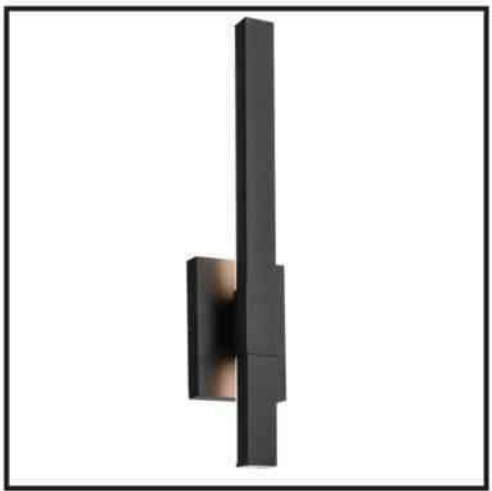
EXTERIOR BRICK VENEER
EL DORADO STONE
HARTFORD TUNDRABRICK



EXTERIOR STUCCO
AMAZING GRAY SW 7044



EXTERIOR SIDING
VESTA IRON STONE METAL



EXTERIOR WALL SCONCE
22" TALL KICHLER NOCAR LIGHT FIXTURE



ADDRESS NUMBERS
SELEGNASIGNS METAL BACKLIT ADDRESS NUMBERS

